

BERNALILLO COUNTY

Planning & Development Services
111 Union Square SE, Suite 100
Albuquerque, NM 87102
(505) 314-0350 Fax: (505) 314-0480
www.bernco.gov



BUILDING SECTION

RESIDENTIAL

RESIDENTIAL BUILDING PACKET

This packet contains:

- Building Permit Application
- Residential Building Permit Requirements
- Residential International Energy Conservation Code (if needed)
- Homeowner's Responsibilities
- 15% form (if needed)
- Residential Water Conservation Requirements (if needed)
- Residential Water Conservation Worksheet (if needed)



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Building Permit Application

Site Information

Site Address: _____
UPC No.: _____ Lot No.: _____ Block: _____
Tract: _____ Parcel: _____
Subdivision: _____ Unit No.: _____
Owner: _____ Phone Number: _____
Owner Address: _____

Type of Application Type of Permit: _____ (Official Use Only)

Homeowner Permit

(Must have Homeowner Responsibility Form)

General Contractor

(Provide "Contractor Information" Below)

New Construction Addition Modular Alteration/Repair Demolition

Wall (over 6') Sign (over 6') Solar Array Swimming Pool

Proposed Project and use: _____

Contractor Information

Business Name: _____ Phone: _____
Qualifying Party: _____ NM License No.: _____
Contact Name: _____ NM License Type: _____
Contact Mobile No.: _____ Email: _____

Construction Data

No. of Stories: _____ Area of Footprint: _____

Valuation of Work: _____
(Final valuation to be set by Building Official, 2009 IBC, Sec 109.3)

Area Calculations: (For Structures Proposed Under IRC)*

Heated Area: _____

Garage Area: _____

Carport, Porches, Patios: _____

Total Area: _____

***For structures proposed under the IBC provide information on reverse side**

Project Architect

Firm: _____

Contact Name: _____ Contact Phone No.: _____

Project Engineers

Civil: _____ Phone No.: _____

Structural: _____ Phone No.: _____

Electrical: _____ Phone No.: _____

Mechanical: _____ Phone No.: _____

Plumbing: _____ Phone No.: _____

Structure Design Information

Occupancy Group: _____ Type of Construction: _____

(If mixed occupancy, indicate each occupancy group proposed)

Area Calculations: _____

(If mixed occupancy, indicate total area of each occupancy group proposed)

Total Area of Proposed: _____

Proposed Occupant Load: _____

(If mixed occupancy, indicate proposed occupant load for each occupancy group proposed)

Total Occupant Load of Proposed: _____

Owner Acknowledgment:

By signing I acknowledge that I am the owner of record for the above mentioned property, and authorize the contractor or agent listed above to make application for permit as well as to handle all things in regards to the proposed project on my property as proposed herein, and I authorize Bernalillo County staff to conduct necessary inspections on my property as related to this permit application.

Signature: _____ ***Date:*** _____

Permit Holder:

I agree and I understand that the issuance of this and any subsequent permits does not prevent the Bernalillo County Public Works Division, Environmental Health Department, Fire Marshall or the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA) from requiring additional compliance with the provisions of the respective codes and/or ordinances.

Signature: _____ ***Date:*** _____



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BERNALILLO COUNTY RESIDENTIAL BUILDING PERMIT REQUIREMENTS

1. PLANS & SPECIFICATIONS

Plans and Specifications shall be drawn to scale and prepared upon suitable paper (minimum of 11x17) and shall be of sufficient clarity to indicate in detail the location, nature and extent of the work proposed. The Applicant shall provide all information listed below, as is applicable to the proposed project, and submit one (1) copy of the plot plan and one (1) copy of all other drawings:

A. **PLOT PLAN:**

This plan shall provide the owners name, site address, legal description (subdivision, lot and block numbers), Uniform Property Code (UPC), distance from property lines and any existing structures to proposed construction, location of water supply and liquid waste disposal.

B. **FOUNDATION PLAN:**

Show the location, size, dimensions and depth below grade of all footings, piers, stem walls and retaining walls. Provide a footing section detail with dimensions of footing width and depth below grade, height above grade, size and spacing of reinforcement steel, as well as R-Value, size and depth of perimeter insulation.

C. **FLOOR PLAN:**

Show all rooms and label use. Indicate all door and window sizes, types and operation. Indicate all safety glazing where required, and indicate U-Factors of all windows and doors. Show the location of all smoke detectors and carbon monoxide alarms; they shall be hard wired with battery backup, inside and outside each bedroom. Show separation at garage to residence.

Note for additions to existing: Indicate all rooms and their use that are adjacent to the proposed construction. Installation of smoke detectors and carbon monoxide alarms will also be required throughout existing portions of the residence the addition is attached to.

D. **FLOOR AND ROOF FRAMING PLAN:**

Show the size, spacing and spans of all structural members (joists, girders, rafters, headers, beams and/or vigas). Indicate the lumber grade and species of all wood structural members. Provide job specific engineered truss details, and key to the framing plan. Show attachment of beams, columns and ledgers.

Note: All wood members, such as vigas or square beams used for roof framing members or round or square log posts, used as structural members that are not of conventional dimension will require to have a lumber grading stamp and certification from the material supplier.

E. **ELEVATIONS:**

Provide four (4) exterior elevations of proposed construction, show windows, doors, porches, columns, roof top height, finish floor elevation and finish grade elevations.

F. **WALL SECTION:**

Show wall sections for typical interior and exterior construction, indicating depth of footing below grade and height above grade, finish grade, concrete steel reinforcement, footing dimensions, perimeter insulation, floor to ceiling dimensions, wall construction, wall insulation R-value, exterior finish, lath gauge, ceiling insulation R-value, roof decking material, roof materials and roof slope.

G. STAIRS:

Show step rise, run, width, height of handrails, size of handrails, spacing of intermediate rails, size of handgrip portion of the handrail and the headroom above stairs.

H. SPECIAL DETAILS:

Show detail of masonry fireplace construction with clearance to combustible materials (at walls and ceiling), steel reinforcement, hearth width and extension, and firebox opening (see fireplace detail example). Retaining walls exceeding four (4) feet in height are required to be designed by a registered professional.

Note: All yard walls and retaining walls that are not part of the building must have their own permits.

I. ADDITIONAL DOCUMENTATION:

In addition to the above requirements the following items must be submitted:

- a. A completed International Energy Conservation Code Residential Compliance Certificate and all supporting documentation.
- b. A Manual J HVAC equipment sizing calculation and Manual D duct sizing calculation. Both must be prepared by a qualified professional.
Exception: Additions under 500 sq. ft.
- c. Duct layout plan with duct sizes and outlet sizes labeled.

2. ENVIRONMENTAL HEALTH REQUIREMENTS

A. LIQUID WASTE DISPOSAL:

In areas where city sewer services are not available, the Applicant must obtain a liquid waste disposal permit from the Bernalillo County Environmental Health Department (EHD). This includes both conventional and alternative systems. Certain areas within Bernalillo County, particularly the valley and mountain areas may require an engineered design, due to extreme site conditions. EHD may require up to ten (10) days to review liquid waste permit applications.

B. WATER SUPPLY:

In areas where the city of Albuquerque water services or a Community water supply is not available the applications may be obtained from the Environmental Health Department.

3. FLOODPLAIN REQUIREMENTS

Properties located within the 100-year floodplains indicated on the Flood Insurance Rate Maps, are required to meet minimum finish floor elevations. Those properties located near an arroyo or watercourse will require a grading and drainage plan. These plans will be subject to the review and approval of the Bernalillo County Floodplain Administrator.

4. PUBLIC WORKS REQUIREMENTS

A. ACCESS AND PAVING PERMITS:

Access permits may be required before the issuance of the Certificate of Occupancy. The Public Works Hydrologist will review the plans for access and paving requirements

B. GRADING AND DRAINAGE PLANS:

These plans must be submitted for construction of single family dwellings in North Albuquerque Acres and Sandia Heights and may be required for other residential construction over 500 square feet.

C. WATER CONSERVATION REQUIREMENTS:

A water conservation form indicating which water conservation options will be included in the construction of the building or any addition with plumbing must be submitted before a building permit is issued. Inspections of the chosen options may be required before issuance of the certificate of occupancy.

5. ZONING REQUIREMENTS

- A. A permit is required before erecting, constructing, reconstructing, altering or changing the use of any building or structure within any portion of the unincorporated are of Bernalillo County.

- B. Land uses are regulated by the requirements of the zone in which the property is located. Any use not designated a permissive or conditional use in the zone is specifically prohibited from that zone.

6. IMPACT FEES

An Impact Fee is imposed on any new construction on vacant land and additions over 500 square feet. The fees are collected by the Bernalillo County Zoning Building & Planning Department.

7. PLAN CORRECTIONS & AUTHORIZATION

Corrections on Architect or Engineer (A/E) certified plans shall be made only by the individual or his agent, having written authorization from the A/E. Authorization is required in written form whenever the plans are to be submitted or picked up by anyone other that the owner, contractor, architect or engineer.

8. AGENCY ADDRESSES & OFFICE HOURS

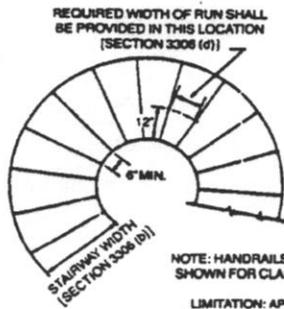
Bernalillo County Zoning, Building & Planning
111 Union Square St. SE Ste 100
Albuquerque New Mexico 87102
Phone: 314-0350

Bernalillo County Public Works Department
2400 Broadway SE
Albuquerque New Mexico 87102
Phone: 848-1500

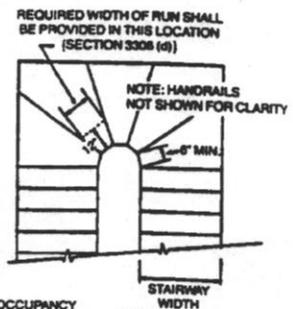
Bernalillo County Environmental Health
111 Union Square St. SE Ste 300
Albuquerque New Mexico 87105
Phone: 314-0310

Bernalillo County Floodplain Administrator
2400 Broadway SE
Albuquerque New Mexico 87102
Phone: 848-1514

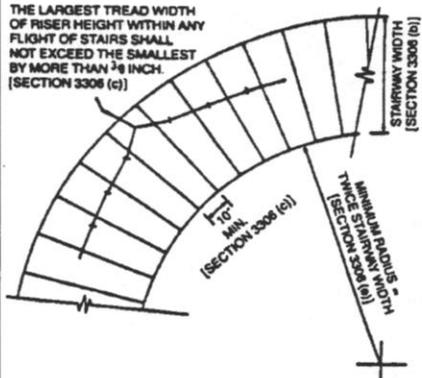
READ AND STUDY CAREFULLY PRIOR TO CONSTRUCTION OF STAIRS



PLAN VIEW
WINDING STAIRWAY

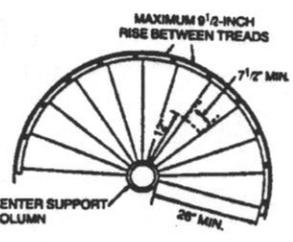


PLAN VIEW
ALTERNATE USE OF WINDERS



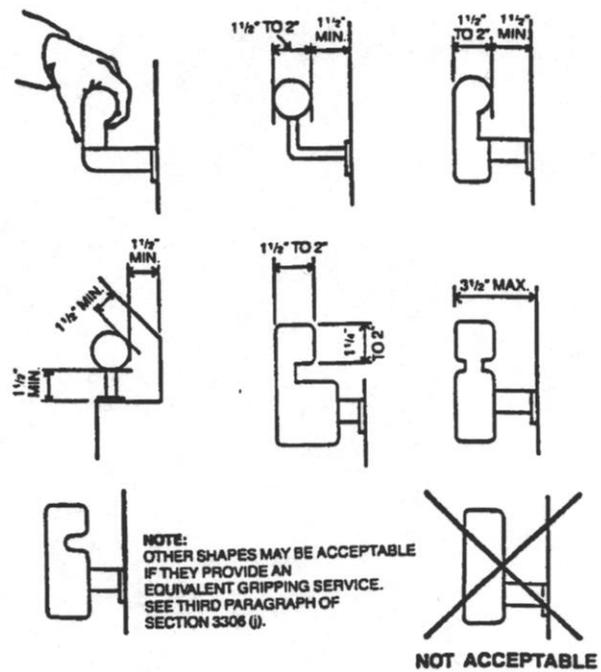
PLAN VIEW
CIRCULAR STAIRWAY

WINDING STAIRS

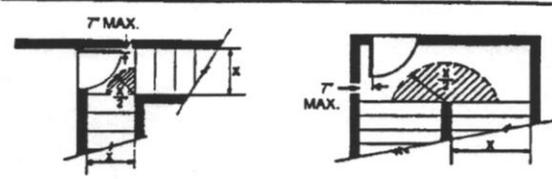
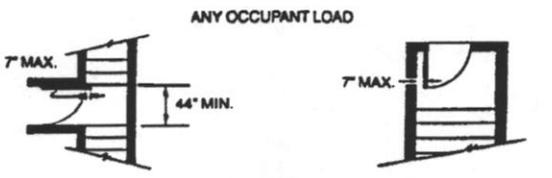
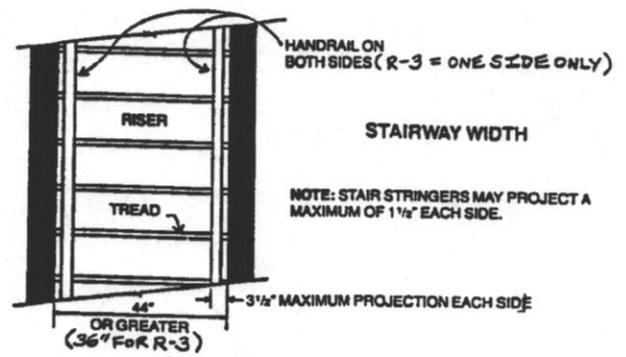


PLAN VIEW
SPIRAL STAIRWAY

LIMITATIONS: 1. LIMITED TO SERVING AS EXIT FOR 400 SQUARE FEET MAXIMUM
2. APPLIES TO R-3 OCCUPANCY AND PRIVATE STAIRWAYS IN R-1 OCCUPANCY



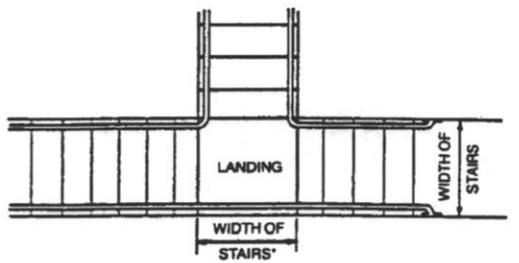
ACCEPTABLE SHAPES AND INSTALLATIONS—HANDRAIL



WHEN X = THE REQUIRED WIDTH

LANDINGS SERVING OCCUPANT LOAD OF 50 OR MORE

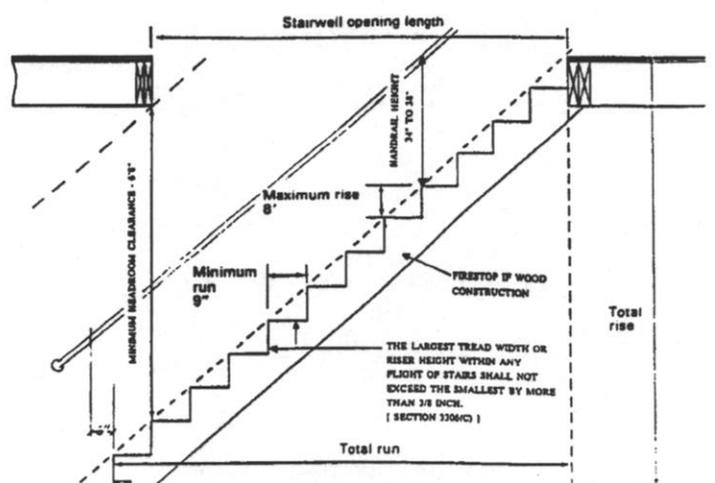
DOORS AT LANDINGS

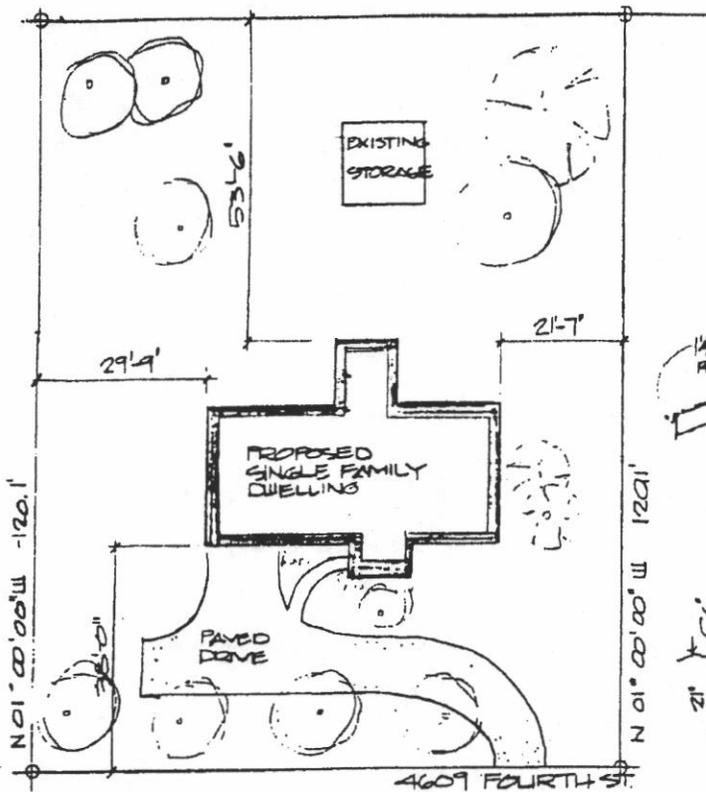


WIDTH OF STAIRS = (1) 36" FOR OCCUPANT LOAD LESS THAN 50
= (2) 44" MINIMUM FOR OCCUPANT LOADS OF 50 OR MORE

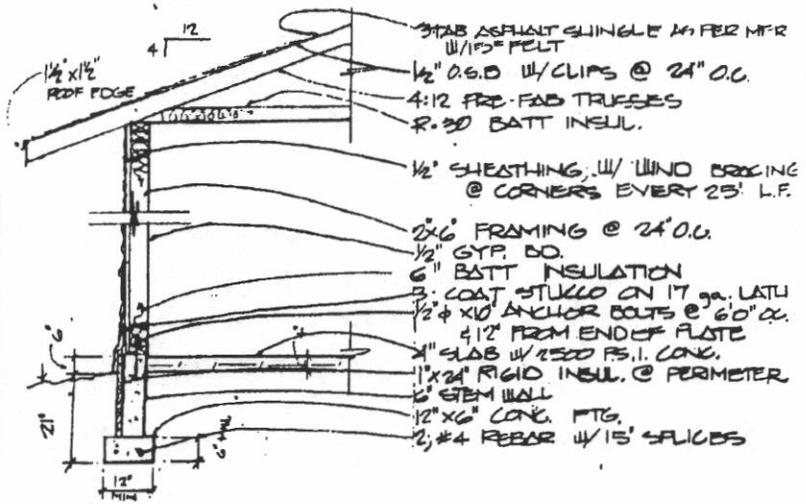
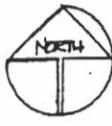
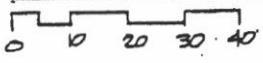
*NEED NOT EXCEED 44" IF LANDING OCCURS IN A STRAIGHT RUN OF STAIRS.

LANDING DIMENSIONS

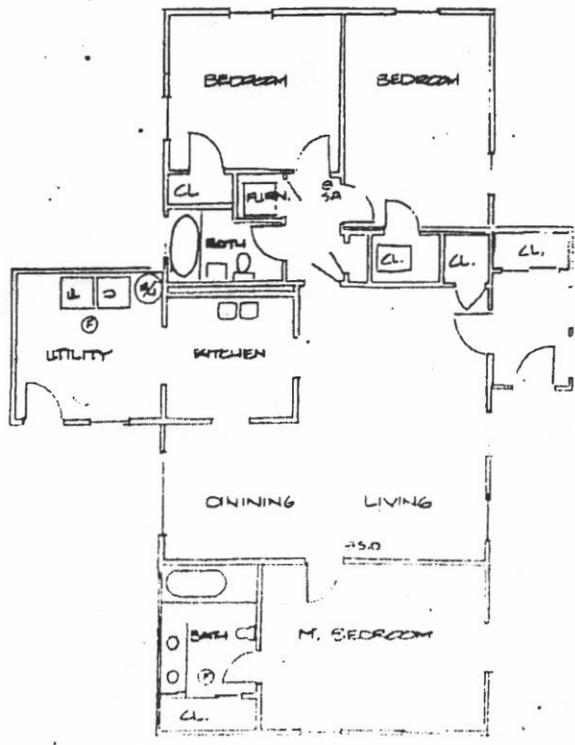




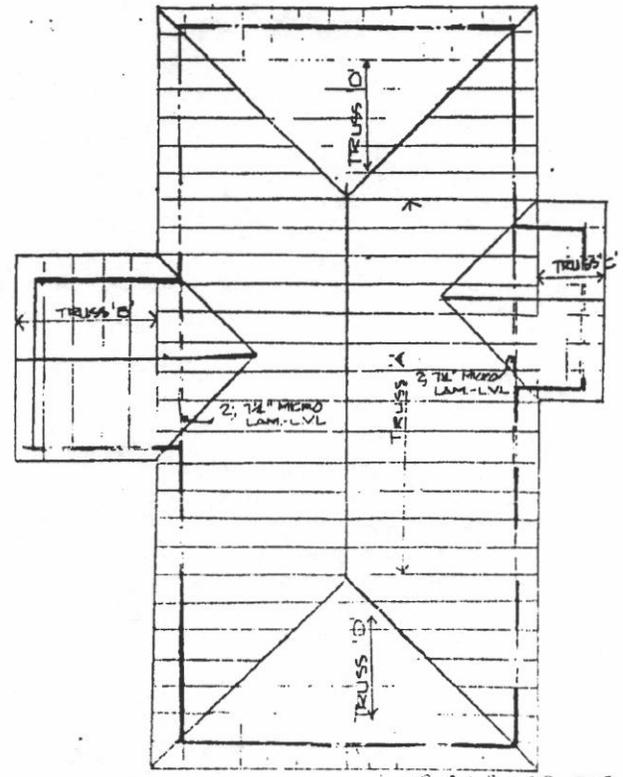
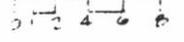
PLOT PLAN



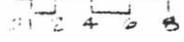
FOOTING DETAIL

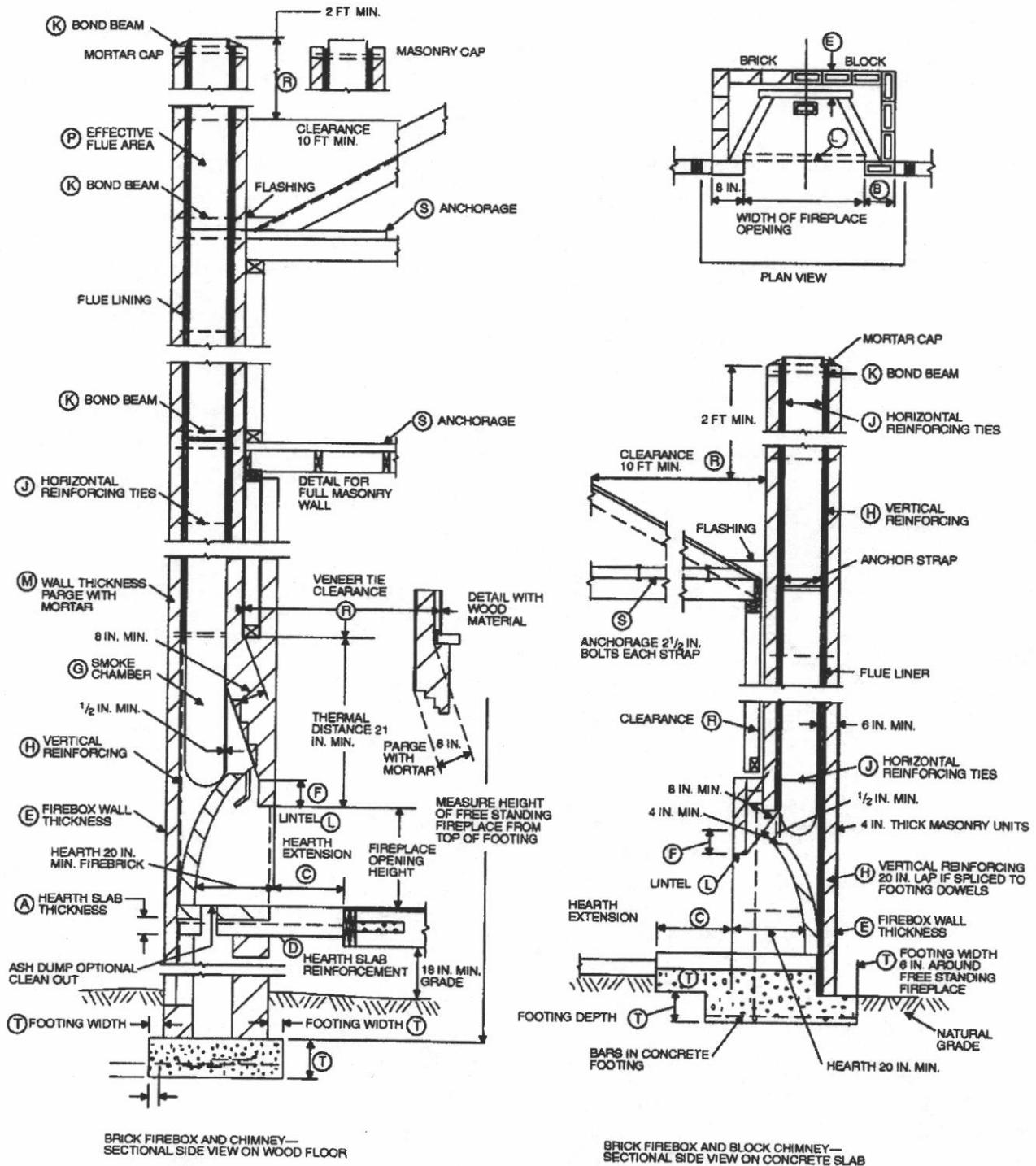


FLOOR PLAN



ROOF FRAMING PLAN





For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R1001.1
FIREPLACE AND CHIMNEY DETAILS

CHIMNEYS AND FIREPLACES

**TABLE R1001.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

ITEM	LETTER ^a	REQUIREMENTS
Hearth slab thickness	A	4"
Hearth extension (each side of opening)	B	8" fireplace opening < 6 square foot. 12" fireplace opening ≥ 6 square foot.
Hearth extension (front of opening)	C	16" fireplace opening < 6 square foot. 20" fireplace opening ≥ 6 square foot.
Hearth slab reinforcing	D	Reinforced to carry its own weight and all imposed loads.
Thickness of wall of firebox	E	10" solid brick or 8" where a firebrick lining is used. Joints in firebrick 1/4" maximum.
Distance from top of opening to throat	F	8"
Smoke chamber wall thickness Unlined walls	G	6" 8"
Chimney Vertical reinforcing ^b	H	Four No. 4 full-length bars for chimney up to 40" wide. Add two No. 4 bars for each additional 40" or fraction of width or each additional flue.
Horizontal reinforcing	J	1/4" ties at 18" and two ties at each bend in vertical steel.
Bond beams	K	No specified requirements.
Fireplace lintel	L	Noncombustible material.
Chimney walls with flue lining	M	Solid masonry units or hollow masonry units grouted solid with at least 4 inch nominal thickness.
Distances between adjacent flues	—	See Section R1003.13.
Effective flue area (based on area of fireplace opening)	P	See Section R1003.15.
Clearances: Combustible material Mantel and trim Above roof	R	See Sections R1001.11 and R1003.18. See Section R1001.11, Exception 4. 3' at roofline and 2' at 10'.
Anchorage ^b Strap Number Embedment into chimney Fasten to Bolts	S	3/16" × 1" Two 12" hooked around outer bar with 6" extension. 4 joists Two 1/2" diameter.
Footing Thickness Width	T	12" min. 6" each side of fireplace wall.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m².

Note: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure R1001.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

a. The letters refer to Figure R1001.1.

b. Not required in Seismic Design Category A, B or C.



International Energy Conservation Code

Residential Compliance Certificate

This form is based on the 2009 International Energy Conservation Code (IECC). It is applicable to One- and Two Family Dwellings as well as R2, R3, and R4 buildings that are no more than three stories in height. It is required that this form be submitted as part of the permit application at the time of permit submittal.

Address: _____

Method or path of compliance:

The IECC provides multiple options for compliance with minimum standards. Check the box to next to the method of compliance proposed.

- | | |
|---|---|
| <input type="checkbox"/> 1. Prescriptive Path (IECC Section 402.1.1)
<input type="checkbox"/> 2. U-Factor Alternative (IECC Section 402.1.3)
<input type="checkbox"/> 3. Total UA Alternative ¹ (IECC Section 402.1.4) | <input type="checkbox"/> 4. Simulated Performance Alternative ² (IECC Section 405)
Available to design professionals licensed in the state of New Mexico or by qualified persons approved by the Building Official. |
|---|---|

¹ Please attach documentation and calculations to substantiate compliance (ex. REScheck).

² If the Simulated Performance Alternative is selected please attach a summary of compliance. Complete third party documentation of compliance must be submitted at time of final inspection.

Prescriptive Method Requirements by Component										
CLIMATE ZONE	Glazing U-Factor	Skylight U-Factor	Door U-Factor	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value ¹ and Depth	Crawl Space Wall R-Value
Metro	0.35	0.60	0.35	38	13	5/10	19	10/13	10, 2 ft	10/13
East Mountain	0.35	0.60	0.35	38	20 or 13+5	13/17	30	10/13	10, 2 ft	10/13

¹ Heated slabs, those with radiant heat or underground ducts, must have R-15 perimeter insulation

Insulation Data:

Enter the appropriate values for the scope of work that coincides with the compliance method selected above. This data is required for all methods of compliance.

- | | |
|--|---|
| _____ Wall R-Value (wood frame or mass) | _____ Crawlspace Wall R-Value |
| _____ Ceiling R-Value | _____ Slab Perimeter R-Value (24" Min.) |
| _____ Floor R-value (above unheated space) | _____ Glazing U-Factor |
| _____ Floor R-Value (above exterior space) | _____ Door(s) U-Factor |
| _____ Basement Wall R-Value | |

Inspection Options:

Section 402.4 of the IECC requires the thermal envelope to be sealed to limit infiltration. The IECC provides three options to demonstrate compliance with building envelope tightness requirements. Selection of the method of compliance shall occur when the Building Frame Inspection is scheduled. Listed below is a summary of the methods.

1. Testing Option (IECC Section 402.4.2.1). Third party documentation required at time of final inspection.
2. Third Party Visual Inspection (IECC Section 402.4.2.2). Third party documentation required at time of final inspection.
3. BernCo Visual Inspection (IECC Section 402.4.2.2). BernCo inspector performs required inspections. There is a \$94 additional charge for this service (BernCo Building Ordinance 2009-5 Table 3-A, item 3). Simulated Performance Alternative requires third party inspections.



New Mexico Regulation and Licensing Department

CONSTRUCTION INDUSTRIES DIVISION

2550 Cerrillos Road ▪ Santa Fe, NM 87505 ▪ (505) 476-4700 ▪ Fax (505) 476-4685
 5200 Oakland Ave. NE ▪ Albuquerque, NM 87113 ▪ (505) 222-9800 ▪ Fax (505) 765-5670
 505 S. Main St., Suite 150 ▪ Las Cruces, NM 88004 ▪ (505) 524-6320 ▪ Fax (505) 524-6319
www.rld.state.nm.us/cid

HOMEOWNER'S RESPONSIBILITIES FOR ANY TYPE OF ALTERATION OR CONSTRUCTION MADE TO A RESIDENTIAL BUILDING

A Homeowner's Permit carries serious responsibilities and is not appropriate for everyone. Please read each of the following statements. If you agree with a statement and your answer to it is "yes", then place a check mark in the appropriate box. If you do not answer, "yes" to every statement, you should **seriously reconsider** applying for a Homeowner's Permit.

After marking each item and signing this form in the presence of a Notary Public, you are required to submit this checklist with your Building Permit application package. This signed checklist will be kept on record with the permit application as proof of your assumption of the risks and liabilities associated with a Homeowner's Permit. Call or visit your State or local office as to other required submittals.

Check the appropriate box:

- I plan to build a single-family home that will be owned and occupied by myself.
- I plan to alter, repair or make improvements to a home owned and occupied by me.
- I plan to build or improve a free-standing storage building 200 sq ft or more located on my residential property

<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand I must apply for my Homeowner's Permit by myself and cannot delegate this task to anyone.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I am familiar with the construction process and know enough about building to be my own homeowner-builder.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I am familiar with the New Mexico Building Code, the Construction Industries Licensing Act, the Construction Industries Division Rules and Regulations, and the building requirements of the jurisdiction in which I plan to build my home or in which my home is located.
<input type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Yes <input type="checkbox"/> No	I will comply with all applicable building codes and requirements.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I will call for inspections at appropriate times and will make my premises accessible to the inspector.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that a re-inspection and a re-inspection fee will be required if any work does not meet code and/or I call for an inspection when work is not ready and/or the work to be inspected is not accessible to the inspector.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that, by taking out a Homeowner's Permit, I am acting as my own homeowner-builder.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that, as the homeowner-builder, I can hire subcontractor(s) to perform all or any portion of the work.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that before I hire any subcontractor, I must verify with the Construction Industries Division that he is duly licensed in New Mexico to perform the type of work for which I intend to hire him.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that, as the homeowner-builder, I may physically do the work myself and/or hire employees.
<input type="checkbox"/> Yes <input type="checkbox"/> No	If I hire anyone (besides a licensed subcontractor) to assist me in building, altering or repairing, I understand that person will be my employee and under my direction.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I will pay hourly wages to my employee(s) and will offer no other form of compensation.
<input type="checkbox"/> Yes <input type="checkbox"/> No	If I hire any employee(s), I understand I must have, or must secure, my own State and federal employer tax numbers.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I will make my State and federal employer tax numbers available to the Construction Industries Division upon request.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I will withhold all required State and federal taxes, Social Security, etc. from the wages I pay to my employee(s).
<input type="checkbox"/> Yes <input type="checkbox"/> No	I will make my payroll records available to my inspector upon his request.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that I must carry Workers' Compensation insurance if I employ a total of three or more persons (not including subcontractors)
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that if I have less than three employees, I may carry Workers' Compensation insurance but am not required to do so.

Construction Industries Division
**HOMEOWNER'S RESPONSIBILITIES FOR ANY TYPE OF ALTERATION OR
CONSTRUCTION MADE TO A RESIDENTIAL BUILDING**

<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that if I do not carry Workers' Compensation insurance, I may be financially responsible if any of my employees are injured while working on my premises. This financial liability will include employee(s) for whom I was not required to carry Workers' Compensation insurance.
<input type="checkbox"/> Yes <input type="checkbox"/> No	If I hire a subcontractor and he does not carry Workers' Compensation, I understand I may be financially responsible if any of his workers are injured while working on my premises.
<input type="checkbox"/> Yes <input type="checkbox"/> No	If I hire a "construction manager" or "superintendent" or "foreman" to oversee my work, I understand such person will be my employee, and I will pay him hourly wages and no other form of compensation.
<input type="checkbox"/> Yes <input type="checkbox"/> No	If I hire a "construction manager" or "superintendent" or "foreman" to oversee my work, I understand that, as the homeowner-builder, I am still the responsible party for compliance with all building codes and construction requirements and for the quality and completion of all contracting work performed under my Homeowner's Permit by my subcontractor(s), employee(s), and me.
<input type="checkbox"/> Yes <input type="checkbox"/> No	If I hire a GB-2 or GB-98 licensed contractor to supervise my work, I must void my Homeowner's Permit. The licensed contractor must permit the project under his own license.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that if I do not want to be responsible for the quality and completion of all work on my home and for compliance with all building codes and construction requirements, I should not obtain a Homeowner's Permit. Rather, I should hire a licensed general contractor to take over those responsibilities.
<input type="checkbox"/> Yes <input type="checkbox"/> No	If I am building my own home and during the process of building, I decide not to own and/or occupy the home when it is completed, I understand I am no longer eligible for a Homeowner's Permit. At that time, I will immediately cancel my Homeowner's Permit and hire a licensed general contractor to complete the work.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand my Homeowner's Permit is only for general construction building. Any electrical, mechanical or plumbing work must be permitted separately.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand electrical and/or a properly licensed contractor must perform plumbing work unless I have demonstrated my ability to do such work by passing a homeowner's examination administered by the electrical or plumbing inspector for the jurisdiction in which I am building my home. This includes: (1) Having my submitted plans approved and (2) obtaining all required permits and calling for all required inspections.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that, under no circumstances, can I perform HVAC or natural gas work under my Homeowner's Permit, and I must hire an appropriately licensed subcontractor who will obtain his own permit for performing such work.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that if I hire a subcontractor to do the electrical and/or plumbing work, that subcontractor must obtain his own permit for his portion of the work.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that if I do not cure any cited code violation within ninety (90) days, the Construction Industries Commission may assess a penalty of up to Two Hundred Dollars (\$200.00) against me.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that if I fail to call for a final inspection, the Construction Industries Commission may assess a penalty of up to Five Hundred Dollars (\$500.00) against me.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that I must call for and pass all required inspections, including a final Inspection, in order to obtain a Certificate of Occupancy.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand the law requires I may not occupy my home (or addition to my home) until a Certificate of Occupancy has been issued; by my general construction inspector.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that if I disregard the law and occupy my home (or addition) prior to final inspection, no Certificate of Occupancy will be issued to me after final inspection or at any time in the future.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that I may have difficulty in closing on a construction loan, refinancing my home or selling my home in the future if I do not follow all laws and procedures and obtain a Certificate of Occupancy.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand the Certificate of Occupancy will clearly state my home (or addition) was built under a Homeowner's Permit.
<input type="checkbox"/> Yes <input type="checkbox"/> No	I understand that I will have limited remedies available to me through the Construction Industries Division and/or the Construction Industries Commission because I have assumed the responsibilities for this project that would have normally been assumed by a licensed general contractor.

Construction Industries Division
**HOMEOWNER'S RESPONSIBILITIES FOR ANY TYPE OF ALTERATION OR
CONSTRUCTION MADE TO A RESIDENTIAL BUILDING**

I _____ certify that I have read the above statements and understand the requirements and responsibilities that accompany a Homeowner's Permit, and I agree to be bound by all applicable codes, law, rules, regulations, requirements and responsibilities. I understand I cannot perform any electrical, mechanical or plumbing work under this permit, If I hire a licensed contractor to do any portion of this project; the contractor will apply for his own permit for this portion of the work. I understand I am required to substantiate my construction knowledge to the satisfaction of the Division.

X _____
Homeowner Signature (must be signed before a notary witness)

NOTARY

Sworn to before me this _____ of
_____, 20_____

Notary witness signature

My Commission Expires: _____

NOTE: This signed copy is to be attached to the Homeowner's Permit application. A photocopy is to be given to the homeowner named above.



15% FORM

**BERNALILLO COUNTY
PUBLIC WORKS DIVISION
Permit Section
2400 Broadway SE
Albuquerque, NM 87102
505-848-1500**

Date: _____

Case Number: _____

Applicant: _____

I _____, hereby certify that I am the owner of the property described as (Legal description)

And here by declare that 15% or less of the total area of the above described property will be impervious as defined by the Bernalillo County Code, Chapter 38 – Section 38-171.i.5, Special Provisions for East Mountain Area. I also understand that if more than 15% of the property ever becomes impervious due to possible development, that a drainage submittal meeting the requirements of the Bernalillo County Code shall be required. I further understand that my property may be subject to incidental storm water flows from existing flow paths, arroyos, adjacent properties, and roadways and that I must accept historic flows as they currently exist and must NOT block or divert these flows from or onto other property public or private. I understand that I must build up my house pad to create positive drainage away from my home. I understand I cannot build any structure in a flow path or arroyo. I understand that I may have a grading and drainage plan prepared, at my own expense, at any time, by an engineer licensed in the state of New Mexico, to be approved by Bernalillo County Public Works prior to construction, to address drainage conditions across my property, but that I have decided not to at this time for this application. I am responsible for this development and I agree to hold harmless, indemnify and defend the Bernalillo County, its Officers, Agents and Employees from and against any and all liability, suits, actions, claims, damages, costs of defense and fees arising out of or resulting from consequences of my development.

Signature

Print Name

The Foregoing was acknowledged before me this _____ day of _____ 20____

Notary Public

My Commission Expires

BERNALILLO COUNTY

Planning & Development Services
111 Union Square SE, Suite 100
Albuquerque, NM 87102
(505) 314-0350 Fax: (505) 314-0480
www.bernco.gov



PUBLIC WORKS DIVISION

NATURAL RESOURCES

2400 BROADWAY SE, BUILDING N
ALBUQUERQUE, NM 87102
(505) 848-1500

NEW RESIDENTIAL WATER CONSERVATION REQUIREMENTS

Effective October 1st 2010

The Bernalillo County Commission adopted revisions to the Water Conservation Ordinance on May 25, 2010 which become effective October 1, 2010. The ordinance now requires that all new construction in the unincorporated area of Bernalillo County meet the following specifications:

For New Single Family Residential and Multifamily up to 8 Units (Small Multi Family) Construction

- Applicants for Single Family Residential and Small Multi Family building permits shall now choose between three options.
 - Option 1. Bernalillo County Water Conservation Worksheet. If this option is chosen, applicants shall complete a worksheet verifying that the water fixtures and appliances installed during construction will reduce water use by 20% compared to the 2006 Uniform Plumbing Code.
 - Option 2. Bronze Level Certification by Build Green New Mexico (BGNM). New residential development must achieve a minimum of Bronze Level Certification by Build Green New Mexico and submit the BGNM certification application and verifications.
 - Option 3. Requires that all plumbing fixtures installed are labeled EPA Watersense, and if the appliances are installed by the contractor they must be Energy Star rated.
- All new remodels and additions shall now use EPA water sense labeled fixtures for any new plumbing fixture installed.

Restrictions on Landscape Planting

- Residential development is limited to 10% high water use plants in the landscape area.

For more information visit www.bernco.gov/water or call Dan McGregor 848-1500.